

MUNICIPALITY OF ANCHORAGE PURCHASING DEPARTMENT

PHONE (907) 343-4590 P.O. Box 196650 ANCHORAGE, ALASKA 99519-6650

DATE OF INVITATION September 19, 2022	TIME AND DATE OF OPENING 2:00 PM Local Time, October 11, 2022
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ADDENDUM No. 1

TO INVITATION TO BID No. 2022C041

DATE ISSUED: September 30, 2022

TITLE: Loussac Library Training Room

The following changes and/or additions are hereby made to subject Invitation to Bid:

- 1. CHANGE:** the Time and Date of Opening to: **2:00 PM Local Time, October 11, 2022**
- 2. INCORPORATE:** the attached changes, consisting of three (3) pages, identified as Addendum No. 1, dated September 30, 2022.

All other terms, conditions and specifications remain unchanged.

An electronic (.pdf) copy of the Invitation to Bid is available at Municipality of Anchorage, Purchasing Office website; (<http://www.muni.org/Departments/purchasing/Pages/bidding.aspx>) Should you choose to obtain a copy of the Invitation to Bid from the website; it is your responsibility to periodically check the website for addends.

THIS ADDENDUM MUST BE ACKNOWLEDGED IN SPACE PROVIDED ON BID PROPOSAL SHEET OR SIGNED AND RETURNED TO PURCHASING PRIOR TO TIME SET FOR BID OPENING IN ACCORDANCE WITH ANCHORAGE MUNICIPAL CODE 7.20.020C.

Municipality of Anchorage reserves the right to accept or reject bids. Prices quoted must be F.O.B. Destination. Municipality is exempt from Federal Excise Tax. Bids shall be submitted to the Purchasing Office prior to time set for opening. Any bids not received by the Purchasing Office prior to that time will not be considered and will be returned.

PLEASE ACKNOWLEDGE AND RETURN THIS ADDENDUM PRIOR TO THE DATE AND TIME SHOWN ABOVE OR YOUR BID MAY BE REJECTED.

VENDOR NAME _____

MUNICIPALITY OF ANCHORAGE

SIGNATURE _____

DATE OF BID _____

Chris Hunter
Deputy Purchasing Director

TO: PLANHOLDERS

The contract documents for the referenced project are clarified and amended as follows:

MODIFICATIONS/CLARIFICATIONS:

No Modifications/Clarifications

DRAWINGS:

Item No. 1: **REPLACE** Drawing Sheet(s) with the attached combined PDF identified as Addendum and/or Revision No. 1

The following sheets are revised:

- G102
- A101
- A201
- A202
- A801

*Note: Several comments were revised during Plan Review. These sheets are being included in this addendum as Exhibit 1. All Plan Review revisions shall be incorporated into the contractors bid pricing.

RESPONSES TO BIDDERS' QUESTIONS:

1. **Question:** How many new exit signs will be required for this project?
Response: See revised Sheet G102. Two (2) exist signs will be added to the current count required.
2. **Question:** Details 2 & 3 On page A510 indicate metal stud kickers at both wall sections. Since the new wall assembly extends to the deck and will be restrained laterally by the top track connection, can the kickers be omitted?
Response: If the contractor elects to extend stud framing to deck, the kickers reference above can be omitted.
3. **Question:** How many new exit signs will be required for this project?
Response: See revised Sheet G102. Two (2) exit signs will be added to the current count required.
4. **Question:** Can the Elevator be used to move material to and from the project location
Response: Yes. Use the Staff Elevator in Patron Services.
5. **Question:** Where can the contractor locate a dumpster?
Response: Near the loading dock at the Contractor Entrance in the back of the building.
6. **Question:** Is the repair of the quake damaged drywall in the corridor soffit part of the scope of this project?
Response: Yes. See revised note on sheet A201.

7. **Question:** Can the contractor use the facility restrooms?

Response: Yes.

8. **Question:** Article 6.9 of the general conditions requires builder's risk insurance for the total contract amount. Please provide the specific areas of coverage that will be required such as earthquake, fire, flood, etc.

Response: Per Article 6.9 of the general conditions, Builder's risk is only required when listed within the supplemental conditions. It is not listed in the supplemental conditions, therefore coverage is at the discretion of the contractor.

9. **Question:** There are many areas of existing GWB substrates that are damaged for previous demo of existing wall mounted items. Please confirm the level of repair for all existing GWB substrates.

Response: See revised note on sheet A201 that reads as follows: PATCH AND REPAIR ALL WALLS FOR NEW PAINT FINISH. REPAIRS INCLUDE SKIM COATING AT AREAS WITH TORN GWB PAPER, CRACKS , GWB DAMAGE, ETC. PROJECT SCOPE AND INTENT IS TO BRING ALL WALL SURFACES UP TO THE SAME CONDITION FOR NEW PAINT.

10. **Question:** Please confirm that all existing GWB substrates and door frames/slabs in the open training room are to be repainted.

Response: All paint finish to be provided per finish schedule. Schedule includes new paint at all GWB wall areas, and all new and existing doors.

11. **Question:** At new doors; 433 and 434E, to what extent will adjacent GWB substrates require repainting as the new GWB installation at these locations will tie into existing via tape and drywall compound.

Response: All GWB that is disturbed for this new work need to be patched and repaired and painted to match the adjacent wall finish.

12. **Question:** Should the perspective bidders include asbestos/lead testing in their bids?

Response: Encountering hazardous material is not anticipated for this project, notify the MOA if any suspicious materials are encountered.

13. **Question:** For consistency and aesthetics, should the new hollow metal frames be provided with 4" heads to match the other frames in this area?

Response: Provide all new door with 4-inch heads to match the existing, see revised sheet A801

14. **Question:** Will any of the new doors require mag hold-opens? If so, will these be integrated with the fire alarm system?

Response: None are required

15. **Question:** At locations where existing doors are to be removed, will the mag hold-open be removed as well?

Response: Reconnect, re-establish mag holds at the door opening where they exist. No new mag holds are required at any new doors where mag holds do not currently exist.

16. Question: Based on answers to door mag hold-open questions, will any fire alarm testing and/or re-programming be required?

Response: Intent is to keep the system as-is, verify that the relocated mag holds are operational.

17. Question: If any fire alarm testing and/or re-programming is required, what is the manufacturer of the existing system and panel?

Response: See above response to question 16.

18. Question: Will any of the existing sprinkler heads need to be moved or any new heads installed?

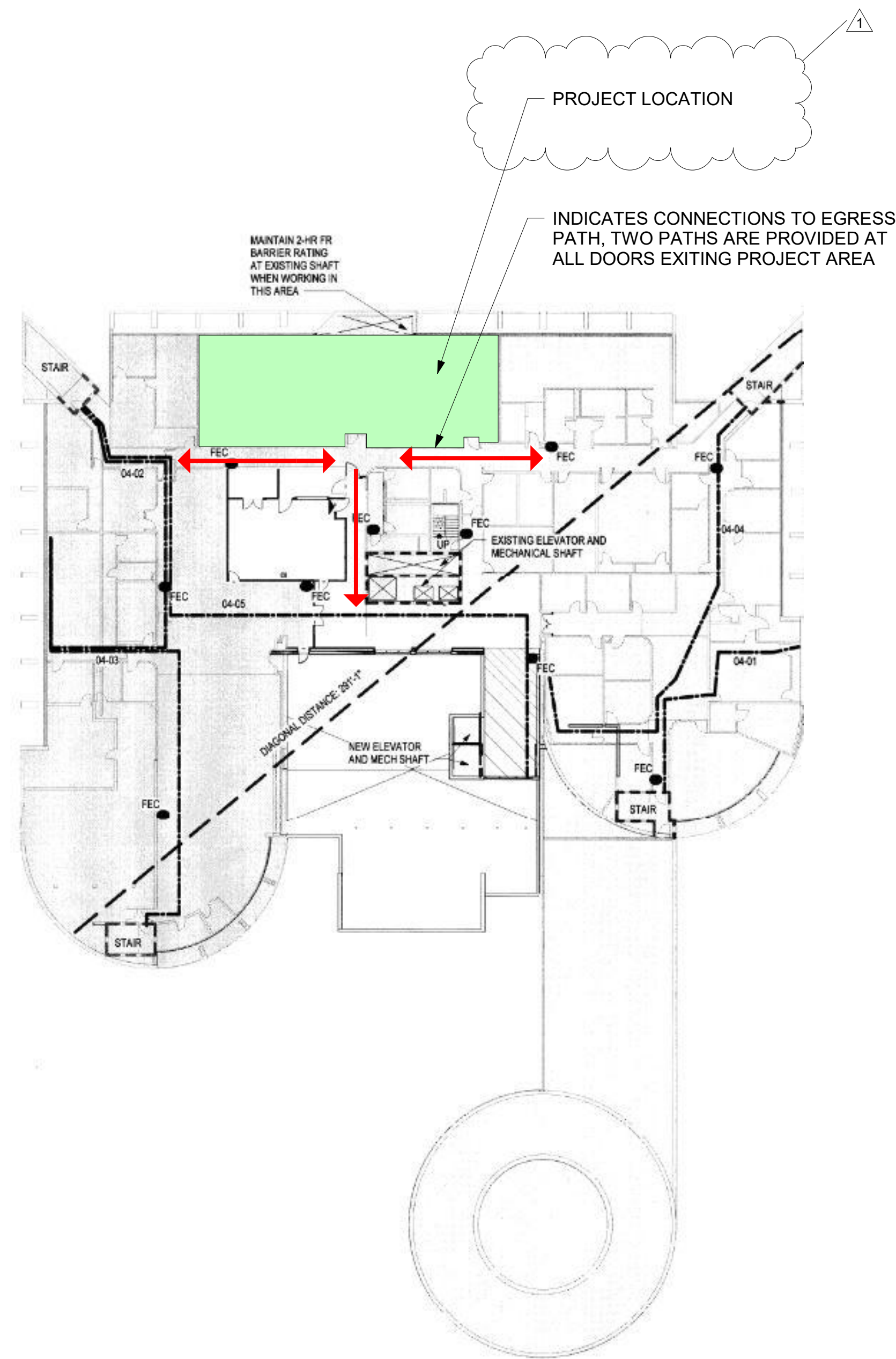
Response: Contractor to determine if the sprinkler head located adjacent to new door 432 will require relocation. No other modification is expected.

19. Question: Per the door schedule on page A801. None of the new openings have a rating assigned to them. Is this the design intent? If a rating for door (432) is required, the large relite will be very expensive.

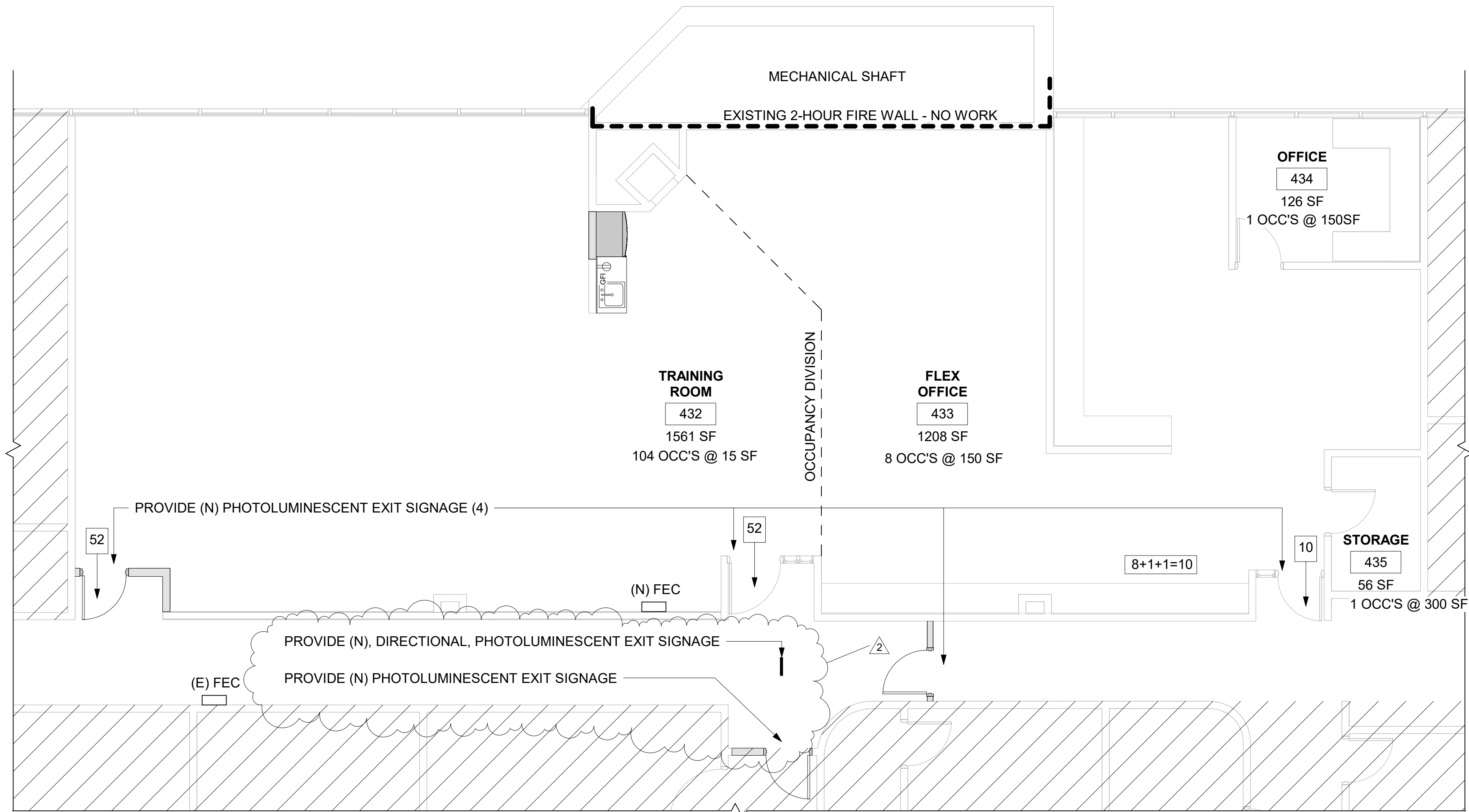
Response: None of the new doors are required to be fire rated.

Where any requirements of the Invitation to Bid conflict with an item in an Addendum, the Addendum shall govern. All other terms and conditions of the Invitation to Bid shall remain unchanged and in full force and effect.

END OF ADDENDUM NO.1



EXISTING EGRESS PATH - 2015 PROJECT



1 CODE PLAN
Scale: 3/16" = 1'-0"

PROJECT DATA & BUILDING CODE ANALYSIS - IEBC LEVEL 3 ALTERATION:

BUILDING DATA:
CONSTRUCTION CLASSIFICATION: BUILT IN 1986 - CONSTRUCTED UNDER THE 1979 UNIFORM BUILDING CODE (UBC) AS A "TYPE I"

THE BUILDING IS FULLY SPRINKLERED

APPLICABLE BUILDING CODES:
2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE
2016 ANSI/ASME A17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS

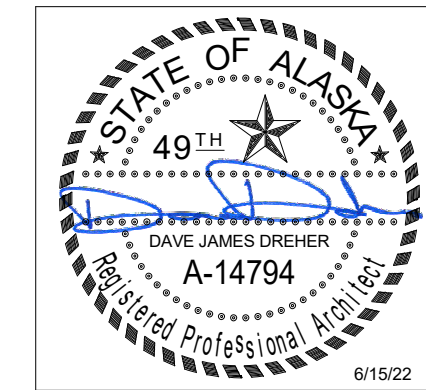
PROJECT SCOPE INCLUDES CONVERTING AN AREA OF THE FOURTH FLOOR TO HOUSE A TRAINING FUNCTION AND FLEXIABLE OFFICE AREAS. THE EXISTING SPACE WAS USED AS A TRAINING ROOM.

THIS WORK IS BEING DONE AS A LEVEL II ALTERATION PER THE 2018 IEBC. PROJECT SCOPE INCLUDES CONVERTING AN AREA OF THE FOURTH FLOOR TO HOUSE A TRAINING FUNCTION AND FLEXIABLE OFFICE AREAS. THE EXISTING SPACE WAS USED AS A TRAINING ROOM. A PORTION OF THE AREA WILL REMAIN A "BUSINESS" OCCUPANCY, WHILE THE REMAINDER IS BEING CONVERTED INTO AN "ASSEMBLY" OCCUPANCY. MODIFICATIONS ARE BEING MADE TO THE EXISTING SPACE TO ACCOMMODATE NEW OCCUPANCY AND EXITING.

PER RECORD DOCUMENTS, EXITING OCCUPANT LOAD OF THE FOURTH FLOOR IS 345. THIS PROJECT WOULD INCREASE OCCUPANT LOAD BY 90, OR 435 TOTAL. FOUR EXITS ARE EXISTING, SERVING THE FOURTH FLOOR.

2018 INTERNATIONAL EXISTING BUILDING CODE:

805.4.4 PANIC HARDWARE:
IN ANY WORK AREA, AND IN THE EGRESS PATH FROM ANY WORK AREA TO THE EXIT DISCHARGE, IN BUILDINGS OR PORTIONS THEREOF OF GROUP A ASSEMBLY OCCUPANCIES WITH AN OCCUPANT LOAD GREATER THAN 100, ALL REQUIRED EXIT DOORS EQUIPPED WITH LATCHING DEVICES SHALL BE EQUIPPED WITH APPROVED PANIC HARDWARE.



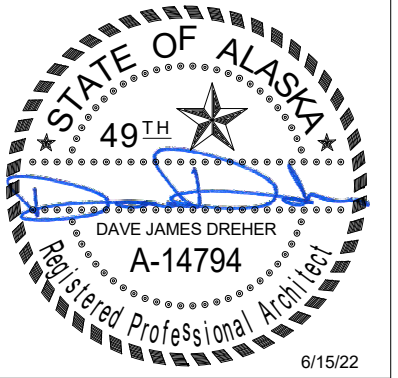
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MUNICIPALITY OF ANCHORAGE
LOUSSAC LIBRARY TRAINING ROOM
3600 DENALI STREET ANCHORAGE AK 99503

DATE: 6/15/22
DRAWN: DJD
CHECKED: DJD
PROJECT: 1718.74
DRAWING TITLE:
CODE STUDY

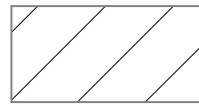
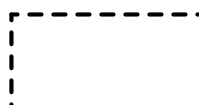
REVISIONS:
1 MOA Plan Review 6/29/22
2 ADDENDUM #1 9/27/22

SHEET NO:
G102



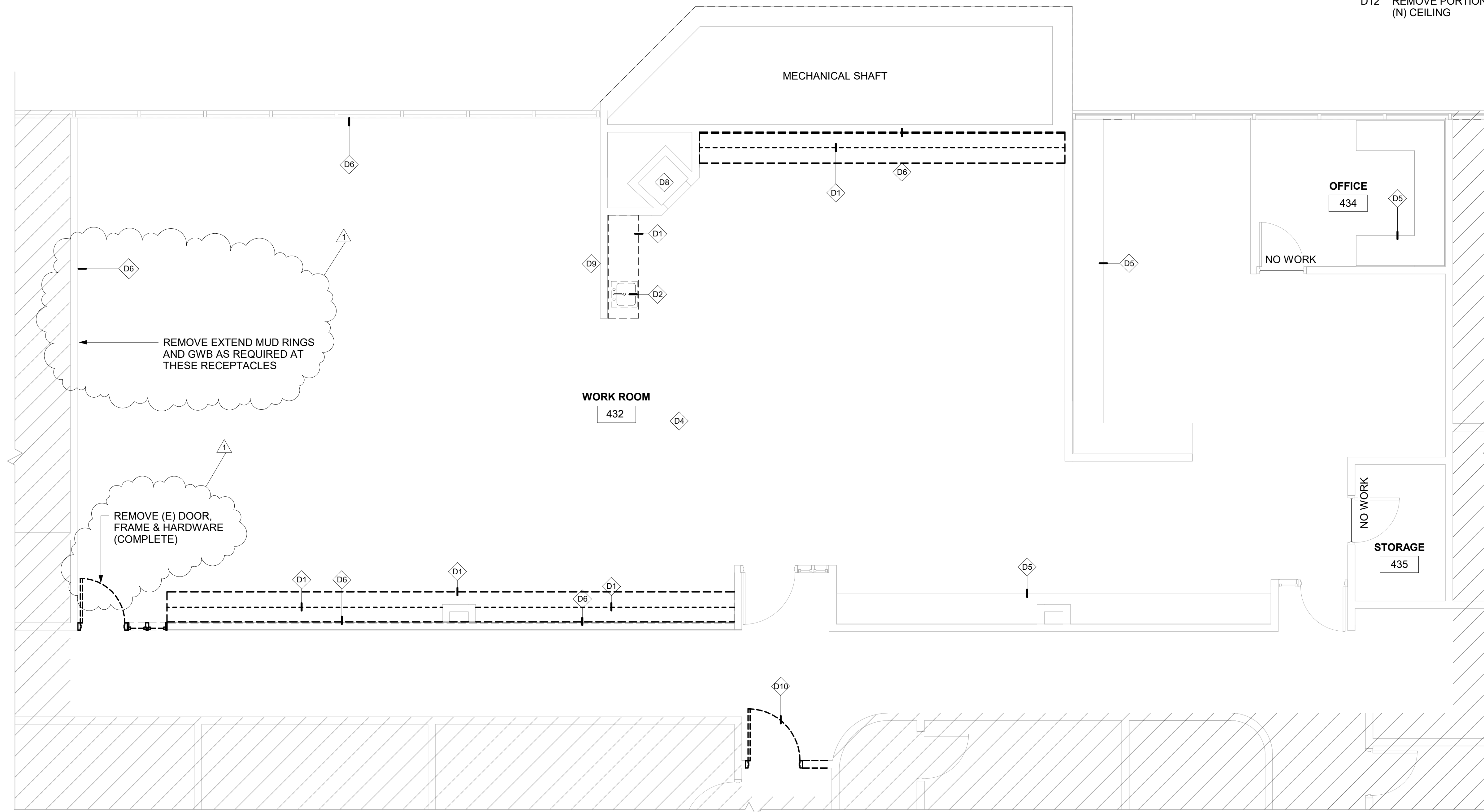
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DEMOLITION PLAN LEGEND

-  HATCH INDICATES NO WORK IN THIS AREA
-  REMOVE

DEMOLITION SHEET NOTES

- D1 REMOVE CASEWORK
- D2 REMOVE (E) SINK - SALVAGE FOR NEW WORK
- D4 REMOVE (E) FLOORING AND BASE
- D5 (E) COUTERTOP TO REMAIN
- D6 REMOVE AND TERMINATE (E) ELECTRICAL RACEWAY
- D7 REMOVE (E) LIGHT FIXTURE FOR RELOCATION
- D8 (E) FUME HOOD TO REMAIN
- D9 USE THIS (E) RECEPTACLE / CIRCUIT FOR NEW GFCI AT OPPOSITE CASEWORK
- D10 REMOVE (E) DOOR - SALVAGE FOR NEW WORK
- D11 REMOVE (E) CEILING AS INDICATED
- D12 REMOVE PORTION OF (E) WALL ASSEMBLY UP TO HEIGHT OF (N) CEILING

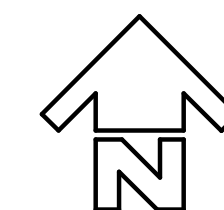


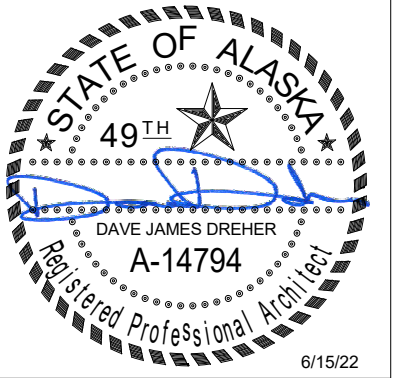
MUNICIPALITY OF ANCHORAGE
LOUSSAC LIBRARY TRAINING ROOM
 3600 DENALI STREET ANCHORAGE AK 99503

DATE: 6/15/22
 DRAWN: HLC
 CHECKED: DJD
 PROJECT: 1718.74
 DRAWING TITLE:
 DEMOLITION FLOOR PLAN
 REVISIONS:
 1 MOA Plan Review 6/29/22
 SHEET NO:

A101

1 DEMOLITION FLOOR PLAN
 Scale: 1/4" = 1'-0"

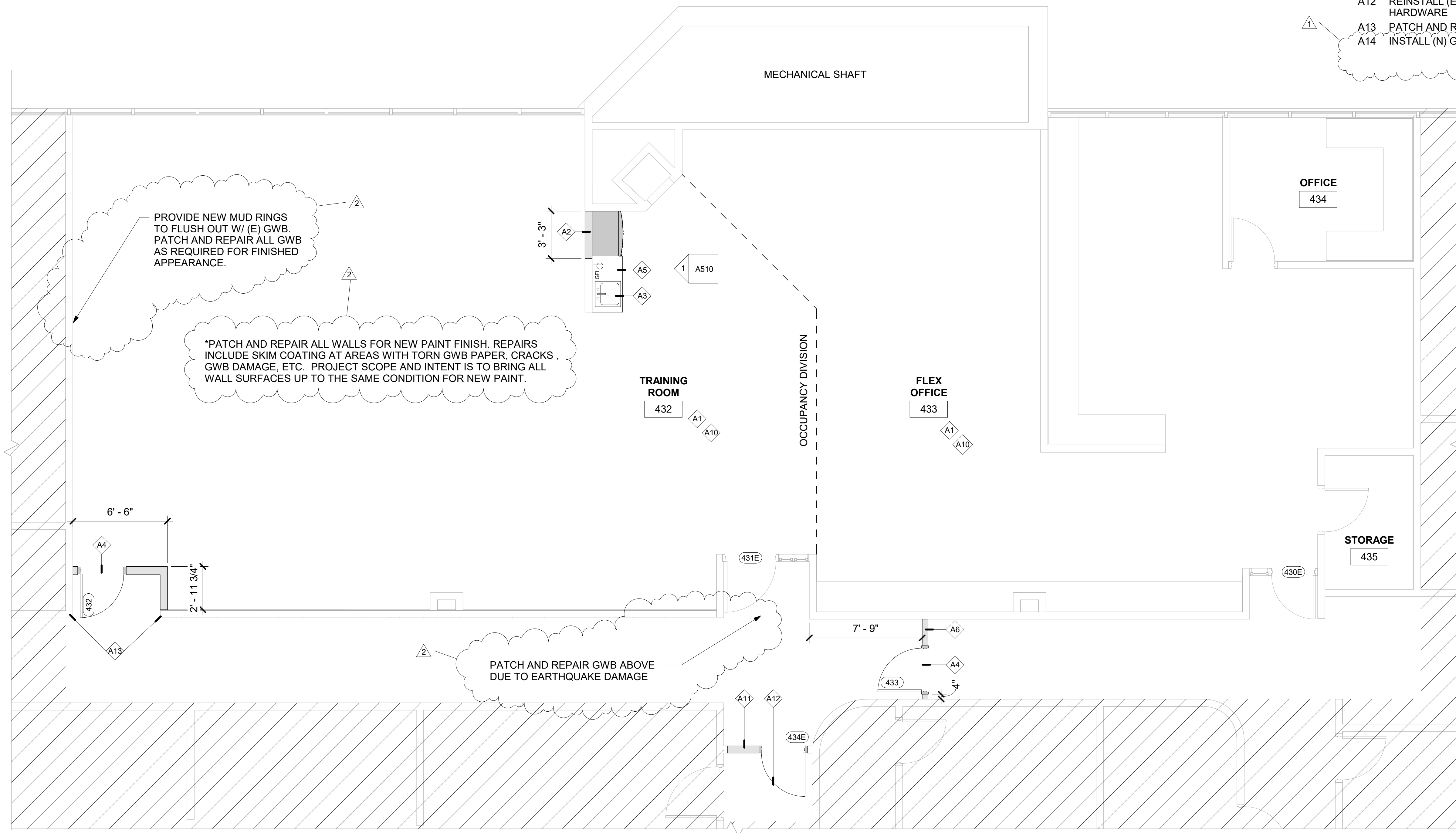




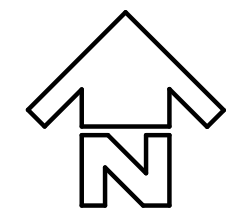
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ARCHITECTURAL SHEET NOTES

- A1 (N) FLOORING AND WALL BASE
- A2 (N) WALL PARTITION ON TOP OF HALF WALL, MATCH ADJACENT WALL FINISH
- A3 REINSTALL (E) SINK IN (N) CASEWORK
- A4 (N) DOOR
- A5 (N) CASEWORK
- A6 (N) WALL, MATCH EXISTING ADJACENT WALL TYPE AND FINISH
- A8 (N) GFCI ELECTRICAL OUTLET - REUSE CIRCUIT INDICATED IN DEMO DRAWINGS
- A9 RELOCATE EXISTING LIGHT FIXTURE
- A10 NEW PAINT FINISHES THROUGHOUT - SEE FINISH SCHEDULE
- A11 INFILL EXISTING OPENING AS REQUIRED, MATCH ADJACENT WALL FINISHES
- A12 REINSTALL (E) DOOR IN NEW CONFIGURATION W/ (N) PANIC HARDWARE
- A13 PATCH AND REPAIR WALLS WHERE DOOR WAS REMOVED
- A14 INSTALL (N) GYPSUM CEILING



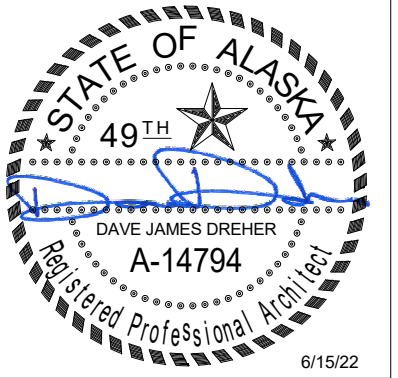
1 FLOOR PLAN
 Scale: 1/4" = 1'-0"



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LOUSSAC LIBRARY TRAINING ROOM
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DATE:	6/15/22
DRAWN:	HLC
CHECKED:	DJD
PROJECT:	1718.74
DRAWING TITLE:	FLOOR PLAN
REVISIONS:	
1	MOA Plan Review 6/29/22
2	ADDENDUM #1 9/27/22

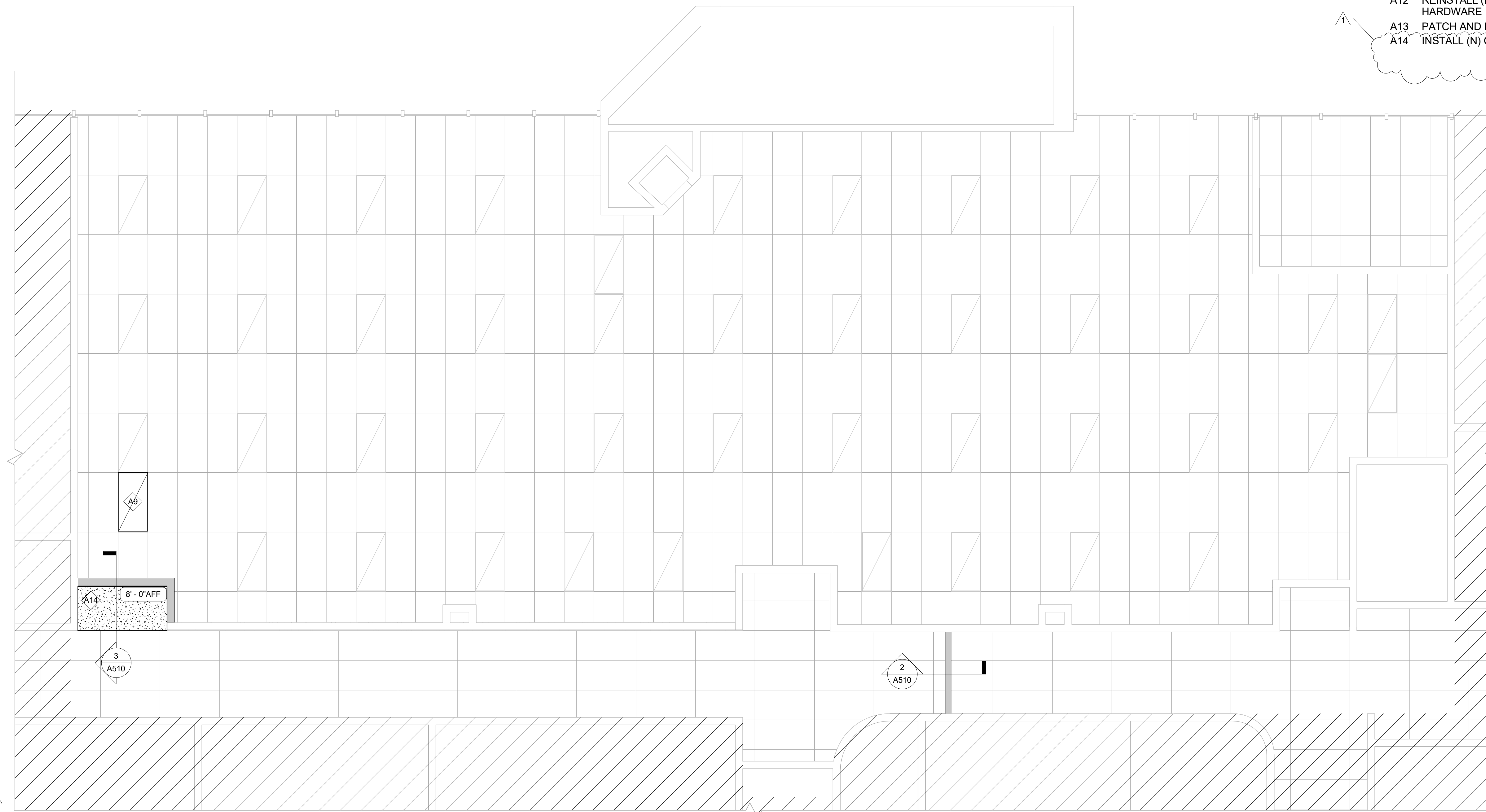
SHEET NO:
A201



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ARCHITECTURAL SHEET NOTES

- A1 (N) FLOORING AND WALL BASE
- A2 (N) WALL PARTITION ON TOP OF HALF WALL, MATCH ADJACENT WALL FINISH
- A3 REINSTALL (E) SINK IN (N) CASEWORK
- A4 (N) DOOR
- A5 (N) CASEWORK
- A6 (N) WALL, MATCH EXISTING ADJACENT WALL TYPE AND FINISH
- A8 (N) GFCI ELECTRICAL OUTLET - REUSE CIRCUIT INDICATED IN DEMO DRAWINGS
- A9 RELOCATE EXISTING LIGHT FIXTURE
- A10 NEW PAINT FINISHES THROUGHOUT - SEE FINISH SCHEDULE
- A11 INFILL EXISTING OPENING AS REQUIRED, MATCH ADJACENT WALL FINISHES
- A12 REINSTALL (E) DOOR IN NEW CONFIGURATION W/ (N) PANIC HARDWARE
- A13 PATCH AND REPAIR WALLS WHERE DOOR WAS REMOVED
- A14 INSTALL (N) GYPSUM CEILING



1 REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

MUNICIPALITY OF ANCHORAGE
LOUSSAC LIBRARY TRAINING ROOM
3600 DENALI STREET ANCHORAGE AK 99503

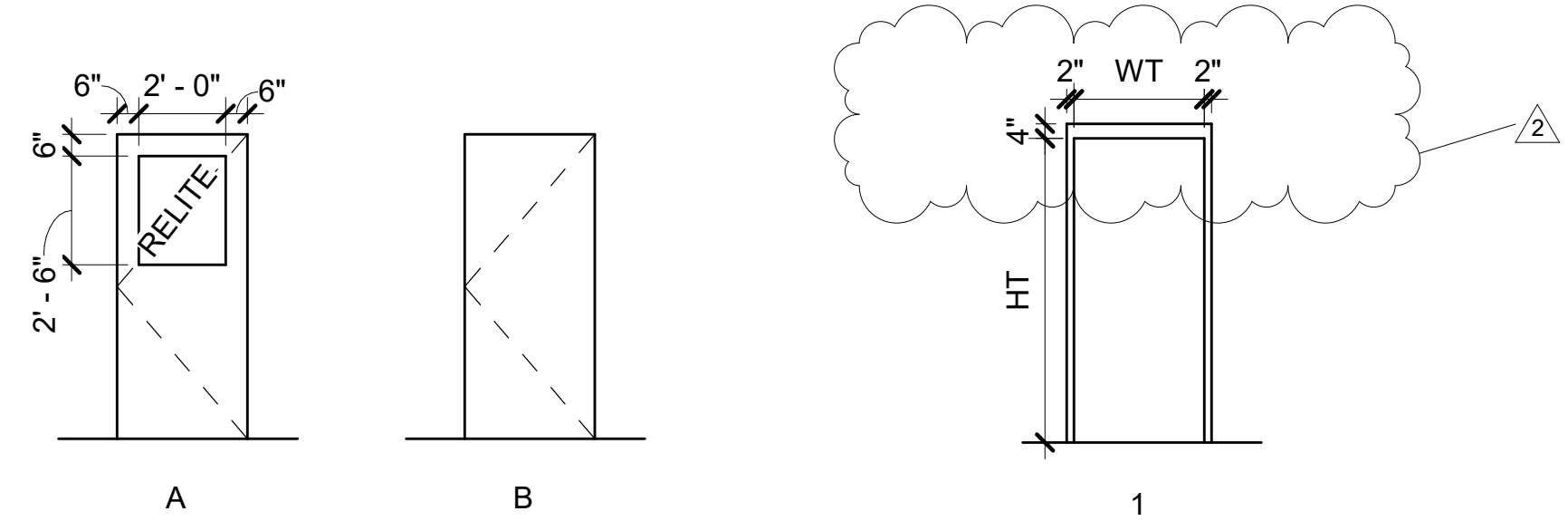
DATE: 6/15/22
DRAWN: HLC
CHECKED: DJD
PROJECT: 1718.74
DRAWING TITLE:
REFLECTED CEILING PLAN
REVISIONS:
1 MOA Plan Review 6/29/22

SHEET NO:
A202

ROOM FINISH SCHEDULE												
ROOM NAME	ROOM NUMBER	FLOOR FINISH	BASE	WALLS					CEILING MATERIAL	CEILING FINISH	MISC	REMARKS
				WALL MATERIAL	WALL FINISH NORTH	WALL FINISH EAST	WALL FINISH SOUTH	WALL FINISH WEST				
TRAINING ROOM	432	CPT-1/LVT-1	RB-1	GWB	PNT-1	PNT-1	PNT-1	PNT-1	(E)ACP			
OFFICE	434	-	-	-	-	-	-	-	-			
STORAGE	435	-	-	-	-	-	-	-	-			
FLEX OFFICE	433	CPT-1	RB-1	GWB	PNT-1	PNT-1	PNT-1	PNT-1	(E)ACP			

FINISH MATERIAL LEGEND						
CODE	TYPE	MANUFACTURER	COLLECTION/TYPE	COLOR	SIZE/THICKNESS	REMARKS
ACCESSORIES						
WB-1	WALL BASE	JOHNSONITE	TRADITIONAL BASE	BURNT UMBER		
CASEWORK						
PL-1	PLASTIC LAMINATE	FORMICA	WOODGRAINS	NATURAL MAPLE (756-58)		
SSM-1	SOLID SURFACE MATERIAL	CORIAN		SILVER LINEAR		
FLOORING						
CPT-1	CARPET TILE	TAS FLOORING	DEVELOPMENT	CARBON (NE811022)	19.7 x 19.7	
LVT-1	LUXURY VINYL TILE	ARMSTRONG FLOORING	EXCHANGE	ST910 STATIC, CATHODE GREY	6 x 36	
PAINT						
PNT-1	PAINT	SHERWIN WILLIAMS		SW 0050 CLASSIC LIGHT BUFF		

DOOR SCHEDULE													
DOOR NO	DOOR						FRAME				FIRE RATING	HARDWARE	REMARKS
	SIZE			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
	WIDTH	HEIGHT	THICKNESS										
430E	3' - 0"	7' - 0"	1 3/4"	B	HM	PAINT-MATCH EXISTING	1	HM	PAINT-MATCH EXISTING	(E)			
431E	3' - 6"	7' - 0"	1 3/4"	B	HM	PAINT-MATCH EXISTING	1	HM	PAINT-MATCH EXISTING	2			
432	3' - 0"	7' - 0"	1 3/4"	A	HM	PAINT-MATCH EXISTING	1	HM	PAINT-MATCH EXISTING	1			
433	3' - 0"	7' - 0"	1 3/4"	B	HM	PAINT-MATCH EXISTING	1	HM	PAINT-MATCH EXISTING	1			
434E	3' - 0"	7' - 0"	1 3/4"	B	HM	PAINT-MATCH EXISTING	1	HM	PAINT-MATCH EXISTING	2			



LEGEND- DOOR TYPES
Scale: 1/4" = 1'-0"

LEGEND- FRAME TYPES
Scale: 1/4" = 1'-0"

HARDWARE GROUPS

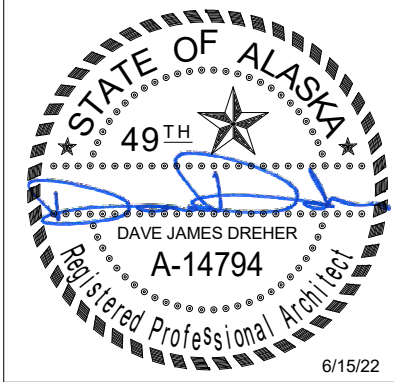
- Code Description**
 AL Aluminum
 130 RiteCoat Painted - Satin Aluminum
 626 Satin Chromium Plated
 628 Satin Aluminum, Clear Anodized
 630 Satin Stainless Steel
 689 Aluminum Painted
 GREY Grey
 US26D Chromium Plated, Dull
 US32D Stainless Steel, Dull

Manufacturer List

- Code Name**
 AB ABH Manufacturing Inc.
 AD Adams Rite
 BE Best Access Systems
 BEST BEST
 DM Dorma Door Controls
 NA National Guard
 PR Precision
 ST Stanley
 TR Trimco

- SET #01**
 3 Hinges FBB168 4 1/2 X 4 1/2 US26D ST
 1 Exit Device 2414 X 2914D 630 PR
 1 Closer 8916 SPA 689 DM
 1 Wall Bumper 1270CV 626 TR

- SET #02**
 1 Exit Device 2414 X 2914D 630 PR
 1 Wall Bumper 1270CV 626 TR



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 3600 DENALI STREET ANCHORAGE AK 99503

DATE: 6/15/22
 DRAWN: HLC
 CHECKED: DJD
 PROJECT: 1718.74
 DRAWING TITLE:
 ROOM FINISH SCHEDULE, FINISH MATERIAL LEGEND, DOOR SCHEDULE
 REVISIONS:
 SHEET NO:

A801