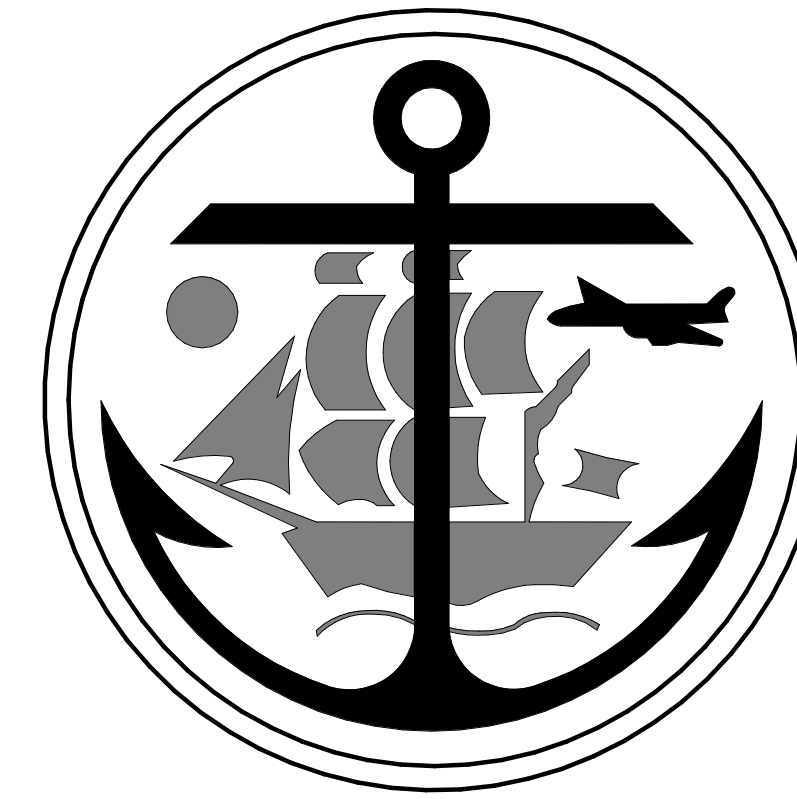


# MUNICIPALITY OF ANCHORAGE OSCAR ANDERSON HOUSE MUSEUM ROOF REPLACEMENT & REPAINTING



## ANCHORAGE, ALASKA

### OWNER

#### MUNICIPALITY OF ANCHORAGE MAINTENANCE & OPERATIONS

3640 E TUDOR ROAD, WAREHOUSE NO. 1 ANCHORAGE, ALASKA 99507 T. 907.343.8256

### ARCHITECT

#### BURKHART CROFT ARCHITECTS, LLC

880 N STREET, SUITE 302 ANCHORAGE, ALASKA 99503 T. 907.929.9334 F. 907.929.9335

### ALTERNATE SCHEDULE

**BASE BID:** ALL WORK ASSOCIATED WITH THE ROOF REPLACEMENT PORTION OF THE PROJECT.

**ALTERNATE NO. 1:** ALL VERTICAL WORK, TO INCLUDE NEW PAINTING AND SIDING REPLACEMENT, AND AS INDICATED IN THE DRAWINGS.

### INDEX TO DRAWINGS

#### GENERAL

G101 COVER  
G102 SPECIFICATIONS

#### ARCHITECTURAL

A101 PHOTOS  
A102 PHOTOS  
A103 ROOF PLANS - DEMO & NEW  
A202 ROOF DETAILS - DEMO & NEW

### DESCRIPTION OF WORK

PROJECT INCLUDES REMOVAL AND REPLACEMENT OF AN EXISTING, CEDAR SHAKE ROOFING SYSTEM WITH A STANDING SEAM METAL ROOF SYSTEM TO THE EXISTING PLYWOOD DECK. AS AN ADDITIVE ALTERNATE, EXTERIOR SHINGLES ARE TO BE REPLACED WHERE INDICATED, AND THE EXTERIOR IS TO BE REPAINTED AND SEALED, NO OTHER IMPROVEMENTS, ALTERATIONS OR CHANGE IN USE OF THE FACILITY ARE PROPOSED IN THIS WORK.

NOTE: THIS FACILITY IS ON THE NATIONAL HISTORIC REGISTRY, ANY MODIFICATION BEYOND WHAT IS INDICATED IN THESE DOCUMENTS REQUIRES PRIOR APPROVAL.

### GENERAL NOTES

- DIMENSIONS ARE TO FACE OF EXTERIOR FINISH UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO THE START OF WORK.

### CODE ANALYSIS

**APPLICABLE BUILDING CODES:**  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
MUNICIPALITY OF ANCHORAGE POLICY A.03 - COMMERCIAL RE-ROOF PERMITTING

ADDRESS: 420 M ST, ANCHORAGE, ALASKA 99501  
BLOCK: LANDMARK LT 1  
ZONE: R3 (MIXED RESIDENTIAL / COMMERCIAL)  
USE CLASS: RESIDENTIAL

2 STORIES ABOVE GRADE WITH OCCUPIED BASEMENT

CONSTRUCTION TYPE: V-B (WITH AUTOMATIC SPRINKLER SYSTEM PROTECTION)

OCCUPANCY: GROUP A3 - MUSEUM

TABLE 504.3: GROUP A, TYPE V-B = 9,000 SF x 2 (SPRINKLER INCREASE - 506.3) = 18,000sf.

TABLE 601: FIRE RESISTANCE RATING: 0-HOUR FIRE RESISTANCE PROVIDED

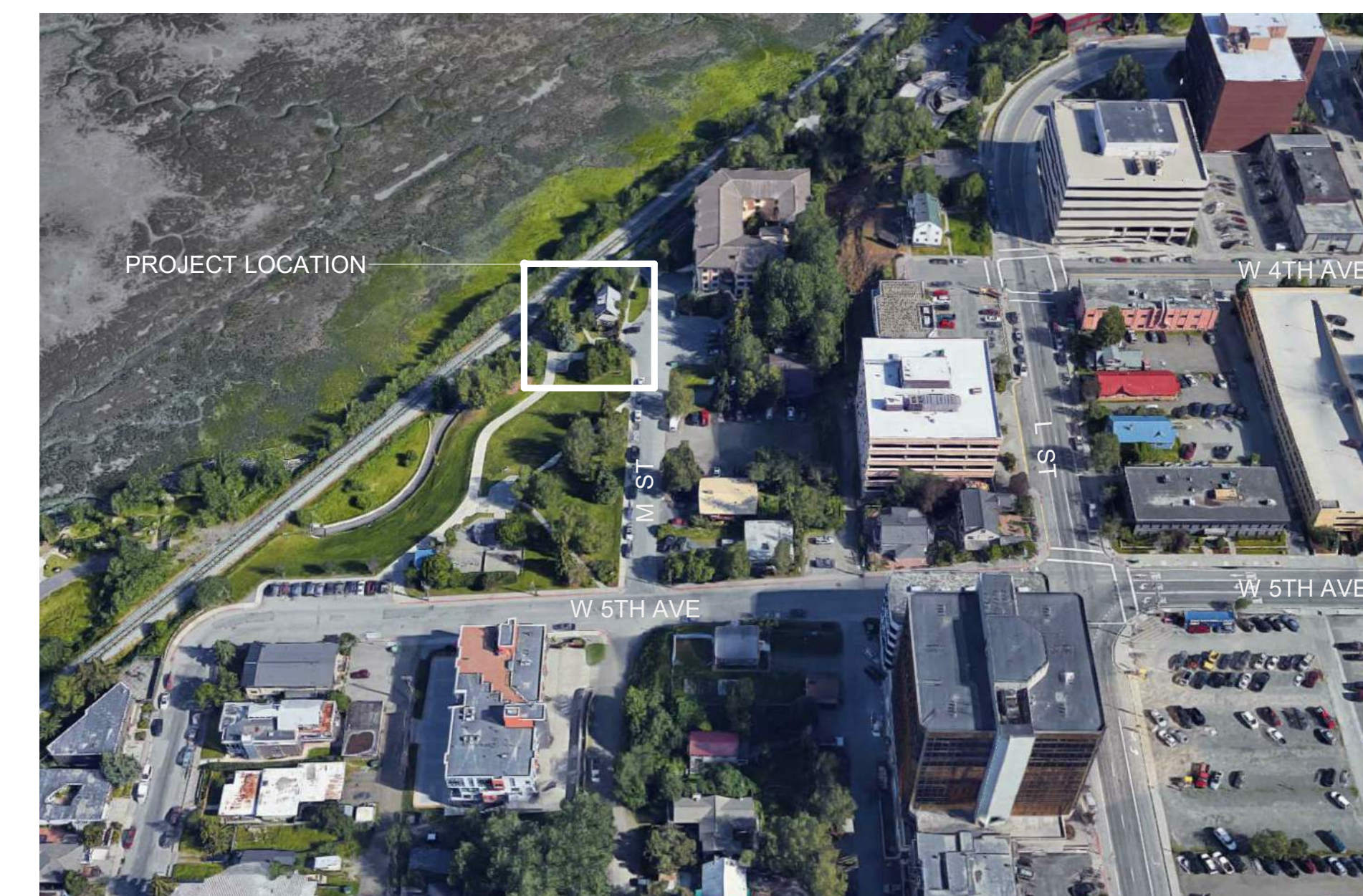
TABLE 602: FIRE RESISTANCE FOR EXTERIOR WALLS 30' MINIMUM SEPARATION DISTANCE TO PROPERTY LINES, 1-HR LESS THAN 5 < OK NO FIRE RESISTANCE REQUIRED ACTUAL GREATER THEN 20 FEET>

TABLE 1505.1: MINIMUM CLASS C ROOF ASSEMBLY REQUIRED IN TYPE VB CONSTRUCTION.

**FLOOR AREA**  
BASEMENT: 717 SF  
LEVEL 1: 717 SF  
LEVEL 2: 220 SF  
TOTAL AREA: 1,654 SF

BUILDING HEIGHT: 30'-0"

### VICINITY MAP



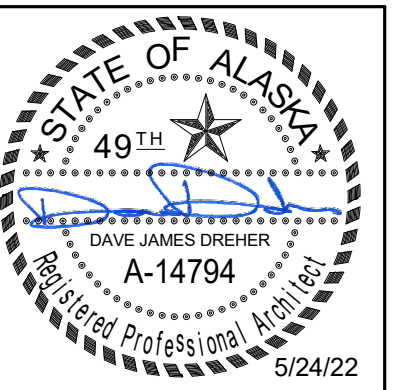
### ABBREVIATIONS

&	and	FL	floor	PLYWD	plywood
@	at	FT	feet	PNT	paint
#	pound or number	GA	gauge or gage	PT	pressure treated
ABBRs	abbreviations	GWB	gypsum wall board	(R)	relocated
ADD	additive	HORIZ	horizontal	RAD	radius
ADJ	adjustable	HT	height	RD	roof drain
AFF	above finished floor	HVAC	heating, ventilating, and air conditioning	REQ	required
APPROX	approximate	INSUL	insulation	RO	rough opening
ARCH	architectural	MAX	maximum	SECT	section
BD	board	MECH	mechanical	SIM	similar
BLK	block or blocking	MFR	manufacturer	SPEC	specification
BO	bottom of	MIN	minimum, minute	SQ	square
CMU	concrete masonry unit	MISC	miscellaneous	STRUCT	structural
CONT	continuous	MTL	metal	T.O	top of
DEMO	demolition	(N)	new	TYP	typical
DET	detail	NIC	not in contract	U.N.O.	unless noted otherwise
DIA	diameter	NOM	nominal	VAR	varies
DIM	dimension	NTS	not to scale	VB	vapor barrier
DN	down	OD	overflow drain	VERT	vertical
DS	downspout	OFCl	owner furnished, contractor installed	VIF	verification in field
DWG	drawing	OFOl	owner furnished, owner installed	VTR	vent through roof
(E)	existing	OPH	opposite hand	W/	with
EA	each	OSB	oriented strand board	WB	weather barrier
EL	elevation	OS	overflow scupper	WD	wood
ELEC	electrical				
EQ	equal				
EQUIP	equipment				
EXT	exterior				
EXIST	existing				

### SYMBOLS

	KEYNOTE
	ROOM
	AREA NAME & NUMBER
	DETAIL
	REVISION
	GRIDS
	WALL SECTION

CONSTRUCTION DRAWINGS



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420 M ST, ANCHORAGE, ALASKA

DATE: 5/24/22

DRAWN: JB

CHECKED: DJD

PROJECT: 1718.65

DRAWING TITLE:  
COVER

REVISIONS:

SHEET NO:

**G101**

# SPECIFICATIONS

## SECTION 02 41 19 - SELECTIVE DEMOLITION

### EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. When unanticipated mechanical, electrical, or structural elements that conflict with intended function, design or routing of new material are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Architect.

### CUTTING AND PATCHING

- A. Cutting and Patching, General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay. Do not cut and patch structural or operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety.
- B. Protection: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.
- C. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction.
- D. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other work. Patch with durable seams that are as invisible as practicable. Provide materials and comply with installation requirements specified in other Sections, where applicable.
- E. Cleaning: Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.

### SELECTIVE DEMOLITION, GENERAL

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
  - 1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
  - 2. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
  - 3. Dispose of demolished items and materials promptly.
- B. Removed and Reinstalled Items:
  - 1. Clean and repair items or materials to functional condition adequate for intended reuse.
  - 2. Store items or materials after cleaning and repairing. Protect with appropriate cover and label according to location of removal.
  - 3. Protect items from damage during storage, handling and re-installation.
  - 4. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated. Replace all damaged components with materials to match existing.
- C. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition and subsequent construction activities. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

## SECTION 06 10 53 MISCELLANEOUS ROUGH CARPENTRY

### WOOD PRODUCTS, GENERAL

- A. Lumber: DOC PS 20 and applicable rules of grading agencies indicated. Provide lumber graded by an agency certified by the ALSC Board of Review to inspect and grade lumber under the rules indicated.
  - 1. Factory mark each piece of lumber with grade stamp of grading agency.
  - 2. Where nominal sizes are indicated, provide actual sizes required by DOC PS 20 for moisture content specified. Where actual sizes are indicated, they are minimum dressed sizes for dry lumber.
  - 3. Provide dressed lumber, S4S, unless otherwise indicated.

### MISCELLANEOUS LUMBER

- A. General: Provide miscellaneous lumber indicated and lumber for support or attachment of other construction.
- B. For concealed boards, provide lumber of the following species and grade:
  - 1. Hem-Fir, Construction or No. 2 Common grade; NLGA, WCLIB, or WWPA.

### FASTENERS

- A. General: Provide fasteners of size and type for material and by manufacture where required.
  - 1. Where carpentry is exposed to weather, or in roof assemblies, provide fasteners of Type 304 stainless steel.
- B. Power-Driven Fasteners: NES NER-272.  
Wood Screws: ASME B18.6.1

## SECTION 07 30 10 - ROOFING UNDERLAYMENT

### PRODUCTS

- A. Basis of Design manufacturer: GCP Applied Technologies
  - 1. Basis of Design Product: Grace Ice & Water Shield

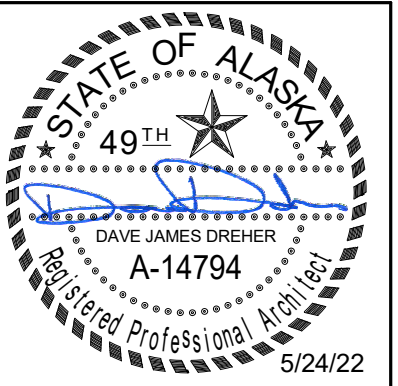
## SECTION 07 42 13 - STANDING SEAM METAL ROOF SYSTEM

### PRODUCTS

- A. Basis of Design manufacturer: AEP SPAN
- B. Basis of Design Product: Select Seam Narrow Batten metal roof panels.
  - 1. Color: Vintage
- C. Flashings and Trim
  - 1. Provide prefinished and color matched trims, outside corners, drips, ridge, and hip flashing per manufacturer standards.

### GENERAL NOTES:

- 1. SPECIFICATIONS ABOVE ARE NOT ALL INCLUSIVE OF PRODUCTS AND MATERIALS REQUIRED FOR THE THIS PROJECT. SEE DRAWINGS AND FINISH SCHEDULE FOR ADDITIONAL PRODUCT REFERENCES AND DETAILS.



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SHEET NO:

**G102**

CONSTRUCTION DRAWINGS



ADD ALT #1: PROTECT EXISTING GAS AND ELECTRIC METERS IN PLACE. PAINT PREPARE SURFACE OF CONDUIT FOR NEW PAINT TO MATCH EXISTING

ADD ALT #1: PREPARE EXISTING SIDING PANELS AND TRIM TO RECEIVE NEW PAINT TO MATCH EXISTING, TYPICAL

ADD ALT #1: PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

PROTECT EXISTING MECHANICAL AND PLUMBING VENTS IN PLACE. REPLACE FLASHING IN COORDINATION WITH NEW METAL ROOF ASSEMBLY, TYPICAL

REMOVE ALL EXISTING CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

ADD ALT #1: PROTECT IN PLACE EXISTING SCREEN DOOR. PREPARE SURFACE FOR NEW PAINT TO MATCH EXISTING

ADD ALT #1: PREPARE EXISTING DOOR TRIM SURFACES FOR NEW PAINT TO MATCH EXISTING

REMOVE EXISTING RAKE FLASHING AND REFER TO DETAILS FOR NEW FINISHES AND ASSEMBLY, TYPICAL

ADD ALT #1: PROTECT EXISTING WINDOW SILL IN PLACE. PREPARE SURFACE FOR NEW PAINT TO MATCH EXISTING. REFER TO DETAILS FOR NEW ROOF FINISH INTERFACE AND FLASHING



PROTECT IN PLACE EXISTING LIGHT FIXTURE, TYPICAL

ADD ALT #1: PREPARE EXISTING PORCH CEILING FINISH TO RECEIVE NEW PAINT TO MATCH EXISTING

REMOVE AND REPLACE EXISTING KNEE BRACE BEARING ON CEDAR SHAKE FINISHES TO REMOVED, TYPICAL EACH SIDE OF FACADE

5 EXTERIOR EAST FACADE

1/8" = 1'-0"

4 EXTERIOR KNEE BRACE DETAIL @ SOUTHEAST ENTRY

1/8" = 1'-0"

ADD ALT #1 NOTE: MAINTAIN EXISTING TRIM TO THE GREATEST EXTENT POSSIBLE. REPAIRS USING FILLING AND SMOOTHING COMPOUNDS IS ACCEPTABLE. IF WOOD REPLACEMENT IS REQUIRED, REPLACE WITH THE SAME WOOD SPECIES AS THE EXISTING



ADD ALT #1: PREPARE EXISTING SOFFIT FOR NEW PAINT TO MATCH EXISTING, TYPICAL

ADD ALT #1: PREPARE EXISTING BEAM AND TRIM, FOR NEW PAINT TO MATCH EXISTING

ADD ALT #1: PREPARE EXISTING PANEL SIDING, TRIM AND SILL FOR NEW PAINT TO MATCH EXISTING. REPAIR DAMAGED PANELS AND TRIM AS NECESSARY

ADD ALT #1: PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING. REPAIR DAMAGED SILL AND TRIM AS NECESSARY

ADD ALT #1: PROTECT EXISTING VENT TO REMAIN IN PLACE

ADD ALT #1: CAREFULLY REMOVE EXISTING GABLE WALL WINDOW TRIM, STORE, AND PREPARE SURFACES FOR REINSTALLATION AND (N) PAINT TO MATCH EXISTING REMOVE ALL EXISTING CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

ADD ALT #1: PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

ADD ALT #1: PREPARE EXISTING VENT HOOD SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL



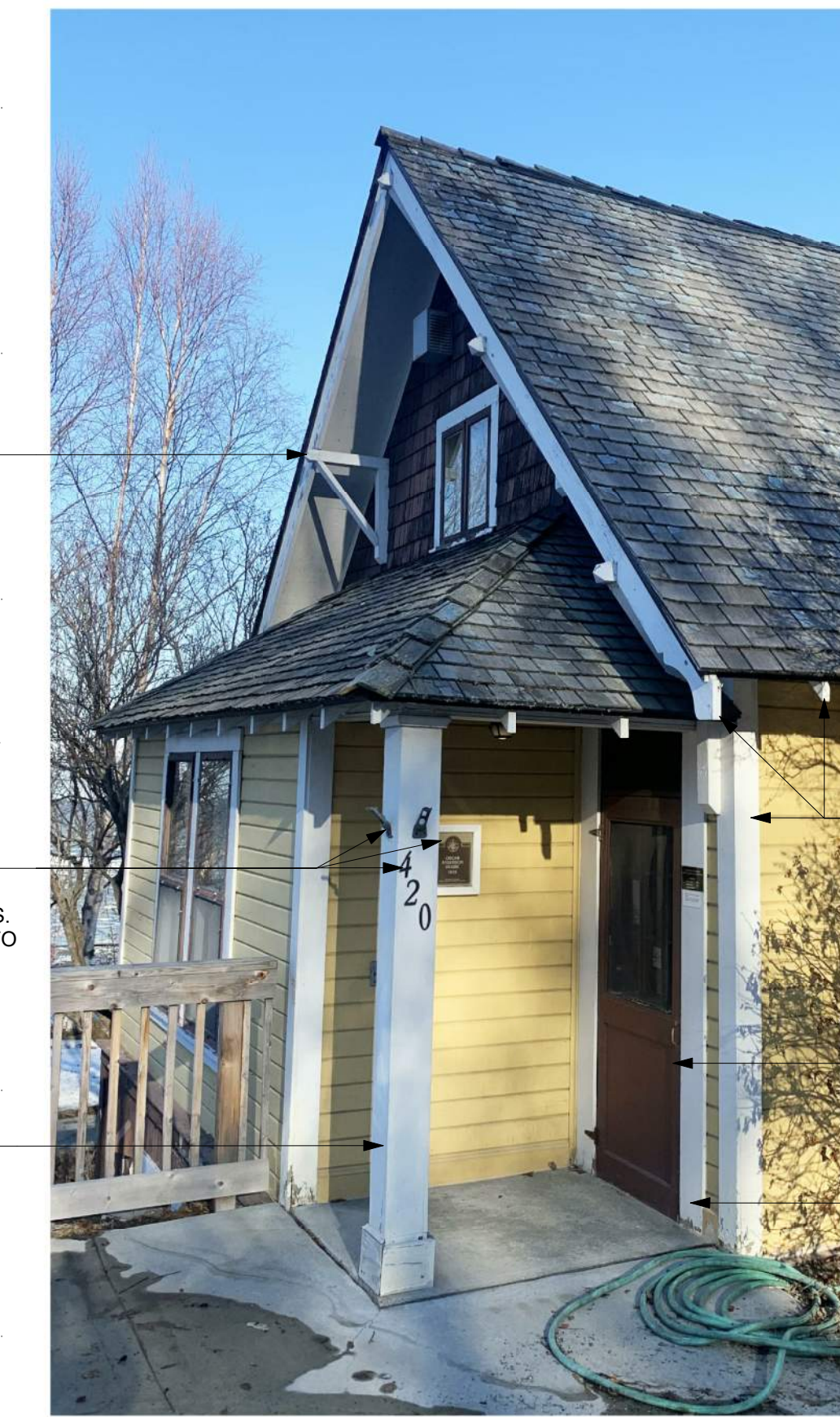
REMOVE EXISTING CEDAR SHAKE SIDING AND UNDERLAYMENT. EXISTING WALL SHEATHING TO REMAIN. REPAIR DAMAGED SHEATHING AS NECESSARY. REFER TO DETAILS FOR NEW SIDING, UNDERLAYMENT, AND FLASHING

PREPARE EXISTING SIDING PANEL SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

ADD ALT #1: PREPARE EXISTING KNEE BRACE SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

ADD ALT #1: REMOVE EXISTING ENTRYWAY SIGNAGE AND BRACKETS. STORE AND REINSTALL TO PRIOR LOCATION UPON COMPLETION OF EXTERIOR REFURBISHMENT

ADD ALT #1: PREPARE EXISTING COLUMN, CAP, AND BASE SURFACES FOR NEW PAINT TO MATCH EXISTING



REMOVE ALL EXISTING CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

ADD ALT #1: PROTECT IN PLACE EXISTING RAFTER TAILS, FASCIA, AND CORNER TRIM. PREPARE SURFACES FOR NEW PAINT FINISH TO MATCH EXISTING, TYPICAL

ADD ALT #1: PROTECT IN PLACE EXISTING DOOR. REPLACE MISSING TRANSOM GLAZING PER HISTORIC ASSEMBLY

ADD ALT #1: PREPARE EXISTING DOOR TRIM SURFACES FOR NEW PAINT TO MATCH EXISTING

3 EXTERIOR SOUTHWEST CORNER DETAIL

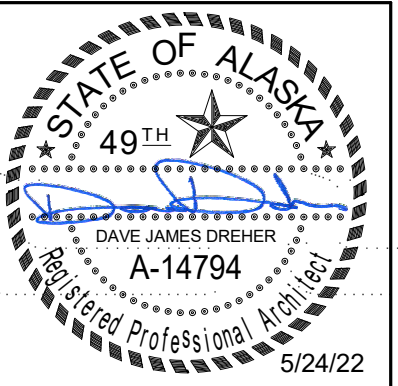
1/8" = 1'-0"

2 EXTERIOR SOUTH FACADE

1/8" = 1'-0"

1 EXTERIOR SOUTHEAST ENTRY DETAIL

1/8" = 1'-0"



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**A101**

CONSTRUCTION DRAWINGS



**ADD ALT #1:** REMOVE EXISTING CEDAR SHAKE SIDING AND UNDERLAYMENT. EXISTING WALL SHEATHING TO REMAIN. REPAIR DAMAGED SHEATHING AS NECESSARY. REFER TO DETAILS FOR NEW SIDING, UNDERLAYMENT, AND FLASHING

**ADD ALT #1:** PROTECT IN PLACE EXISTING RAFTER TAILS AND SHEATHING. PREPARE SURFACES FOR NEW PAINT FINISH TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING SIDING PANELS AND TRIM TO RECEIVE NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** REMOVE AND REINSTALL EXISTING GUTTERS AFTER PAINTING ACTIVITIES. INSTALL W/ POSITIVE DRAINAGE TO LEADER

**ADD ALT #1:** PREPARE EXISTING CANOPY SOFFIT, BEAMS, TRIM, COLUMN, CAP, AND BASE SURFACES FOR NEW PAINT TO MATCH EXISTING

**ADD ALT #1:** PREPARE EXISTING PANEL SIDING, TRIM AND SILL FOR NEW PAINT TO MATCH EXISTING. REPAIR DAMAGED PANELS AND TRIM AS NECESSARY

**ADD ALT #1:** PROTECT IN PLACE EXISTING DOOR. PREPARE SURFACE FOR NEW PAINT TO MATCH EXISTING

**EXTERIOR NORTH FACADE**

5  
1/8" = 1'-0"



**ADD ALT #1:** PREPARE EXISTING KNEE BRACE SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** REMOVE ALL EXISTING CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

**ADD ALT #1:** REMOVE AND REPLACE TRIM OVER ROOF FLASHING. PROFILE AND FINISH TO MATCH EXISTING. PROVIDE SEALANT AS REQUIRED. COORDINATE WITH FLASHING AND NEW METAL ROOF ASSEMBLY. NEW WOOD TO MATCH EXISTING SPECIES.

**EXTERIOR NORTHWEST CORNER DETAIL**

4  
1/8" = 1'-0"



**ADD ALT #1:** PREPARE DORMER RAFTER TAILS, RAKE, AND SHEATHING SURFACES FOR NEW PAINT TO MATCH EXISTING

**ADD ALT #1:** CAREFULLY REMOVE (E) DORMER WALL WINDOW TRIM. STORE AND PREPARE SURFACES FOR NEW PAINT TO MATCH EXISTING. REMOVE DORMER WALL CEDAR SHAKE FINISH, UNDERLAYMENT, FLASHING, AND TRIM. (E) WALL SHEATHING TO REMAIN. INSPECT FOR DAMAGE AND REPLACE IN KIND AS REQUIRED. REPLACE ALL IN KIND TO MATCH EXISTING.

**ADD ALT #1:** PREPARE EXISTING SIDING PANELS AND TRIM TO RECEIVE NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

**EXTERIOR WEST FACADE DORMER DETAILS**

3  
1/8" = 1'-0"



REMOVE EXISTING EAVE FLASHING AND REFER TO DETAILS FOR NEW FINISHES AND ASSEMBLY, TYPICAL

**ADD ALT #1:** PROTECT IN PLACE EXISTING RAFTER TAILS AND SHEATHING. PREPARE SURFACES FOR NEW PAINT FINISH TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING SIDING PANELS AND TRIM TO RECEIVE NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING VENT HOOD SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

**EXTERIOR WEST FACADE DETAILS**

2  
1/8" = 1'-0"



REMOVE ALL EXISTING DORMER CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

REMOVE EXISTING DORMER BASE FLASHING AND REPLACE IN COORDINATION WITH NEW METAL ROOF ASSEMBLY

REMOVE ALL EXISTING CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING ROOF SHEATHING TO REMAIN. INSPECT AND REPLACE DAMAGED SHEATHING AS NECESSARY

**ADD ALT #1:** PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING PANEL SIDING, TRIM AND SILL FOR NEW PAINT TO MATCH EXISTING, TYPICAL. REPAIR DAMAGED PANELS AND TRIM AS NECESSARY

**EXTERIOR WEST FACADE**

1  
1/8" = 1'-0"

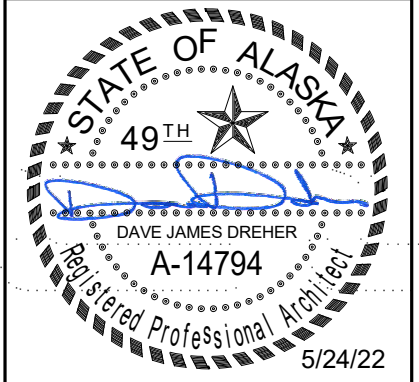
PROTECT EXISTING CHIMNEY IN PLACE. PROVIDE NEW FLASHING IN COORDINATION WITH NEW METAL ROOF ASSEMBLY

PROTECT EXISTING PLUMBING VENT IN PLACE. REPLACE FLASHING IN COORDINATION WITH NEW METAL ROOF ASSEMBLY, TYPICAL

**ADD ALT #1 NOTE:** MAINTAIN EXISTING TRIM TO THE GREATEST EXTENT POSSIBLE. REPAIRS USING FILLING AND SMOOTHING COMPOUNDS IS ACCEPTABLE. IF WOOD REPLACEMENT IS REQUIRED, REPLACE WITH THE SAME WOOD SPECIES AS THE EXISTING

**ADD ALT #1:** PREPARE EXISTING SIDING PANELS AND TRIM TO RECEIVE NEW PAINT TO MATCH EXISTING, TYPICAL

**ADD ALT #1:** PREPARE EXISTING WINDOW TRIM AND SASH SURFACES FOR NEW PAINT TO MATCH EXISTING, TYPICAL. REPAIR DAMAGED SILL AND TRIM AS NECESSARY

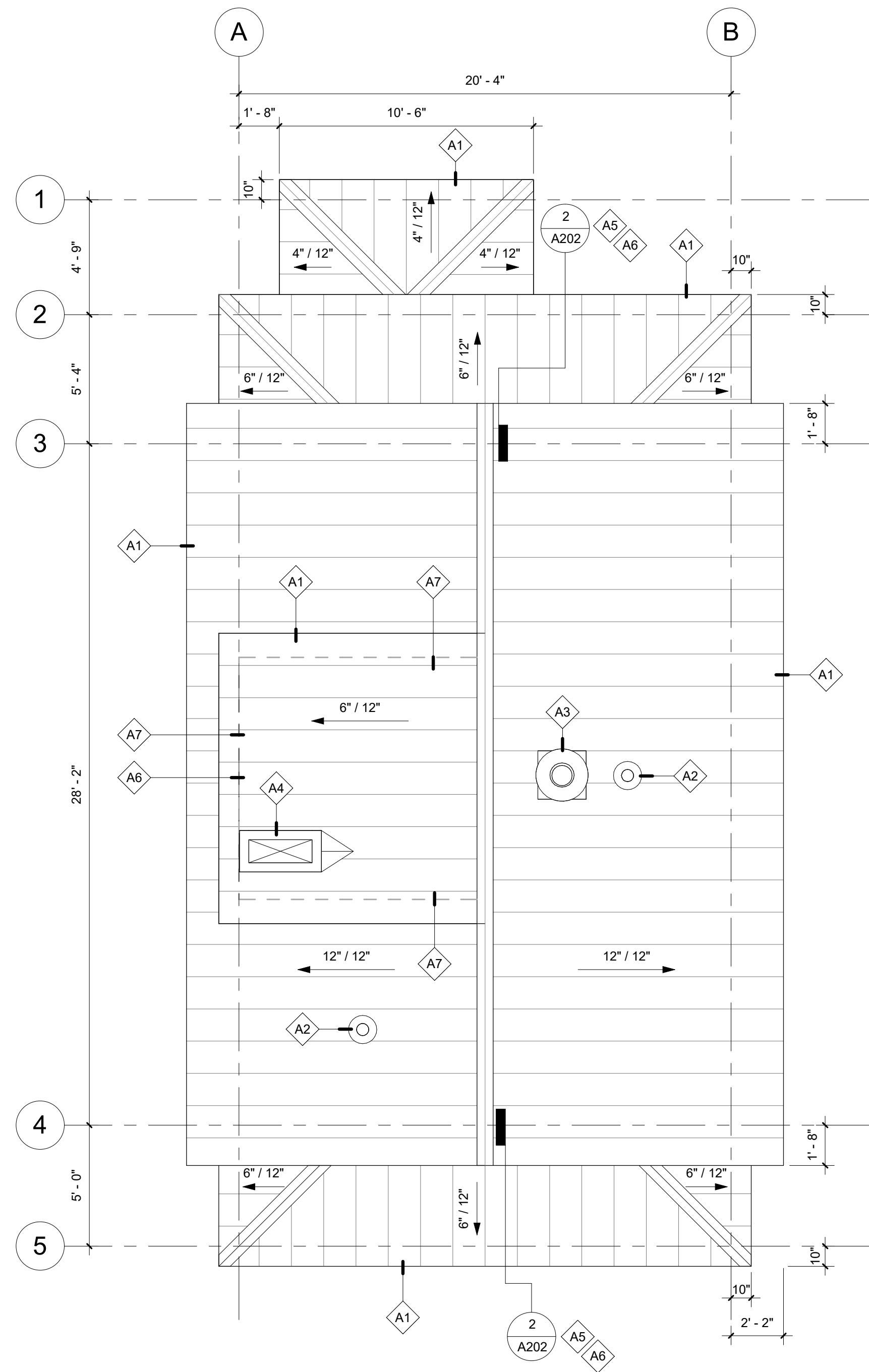


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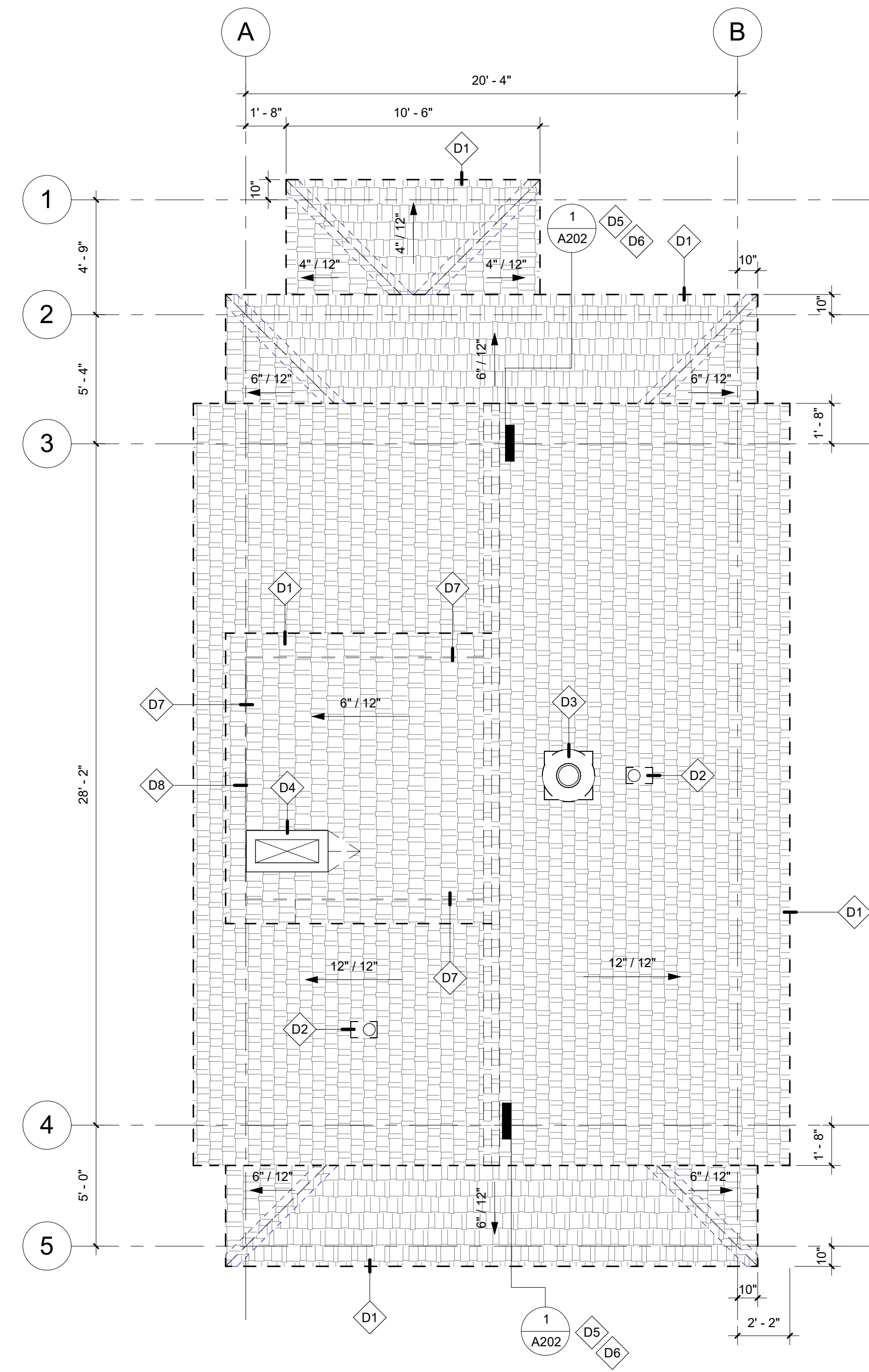
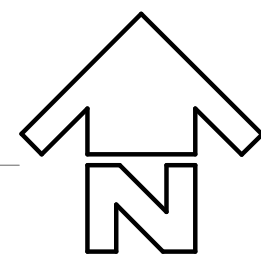
CONSTRUCTION DRAWINGS



1 ROOF PLAN  
1/4" = 1'-0"

**ARCHITECTURAL KEY NOTES**

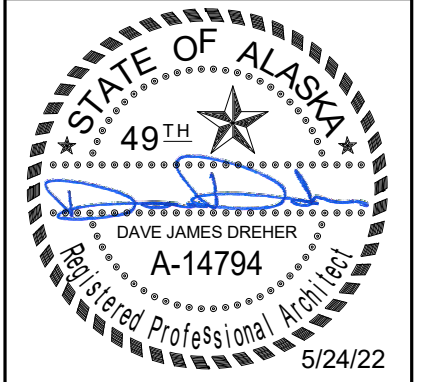
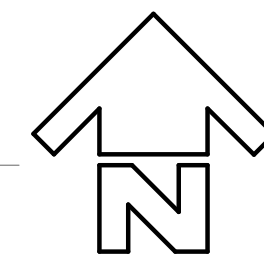
- A1 (N) ROOF ASSEMBLY
- A2 (N) FLASHING @ (E) VTR
- A3 (N) FLASHING @ (E) MECHANICAL FLUE
- A4 (N) BASE AND TAPERED CRICKET AT (E) BRICK FLUE
- A5 (N) ICE BARRIER UNDERLAYMENT AND CEDAR SHAKE SIDING TO MATCH EXISTING AT GABLE WALL. REFER ALSO TO DETAILS
- A6 REINSTALL (E) WINDOW TRIM AND PAINT TO MATCH EXISTING. PREPARE SURFACE OF (E) WINDOW FRAME AND SASH TO RECEIVE PAINT TO MATCH EXISTING
- A7 (N) ICE BARRIER, BASE FLASHING, AND CEDAR SHAKE SIDING TO MATCH EXISTING AT DORMER WALLS.



2 ROOF DEMOLITION PLAN  
1/4" = 1'-0"

**DEMOLITION KEY NOTES**

- D1 REMOVE CEDAR SHAKE ROOF FINISH AND UNDERLAYMENT. EXISTING SHEATHING TO REMAIN. INSPECT FOR DAMAGE AND REPLACE IN KIND AS REQUIRED
- D2 VTR TO REMAIN. REMOVE EXISTING BASE FLASHING
- D3 MECHANICAL FLUE TO REMAIN. REMOVE EXISTING BASE FLASHING
- D4 EXISTING BRICK FLUE AND FLASHING CAP TO REMAIN, PROTECT IN PLACE. REMOVE (E) BASE AND CRICKET FLASHING
- D5 REMOVE GABLE WALL CEDAR SHAKE FINISH AND UNDERLAYMENT
- D6 CAREFULLY REMOVE EXISTING GABLE WALL WINDOW TRIM, STORE, AND PREPARE SURFACES FOR NEW PAINT TO MATCH EXISTING
- D7 REMOVE DORMER WALL CEDAR SHAKE FINISH, UNDERLAYMENT, FLASHING, AND TRIM. (E) WALL SHEATHING TO REMAIN, INSPECT FOR DAMAGE AND REPLACE IN KIND AS REQUIRED
- D8 CAREFULLY REMOVE (E) DORMER WALL WINDOW TRIM, STORE, AND PREPARE SURFACES FOR NEW PAINT TO MATCH EXISTING



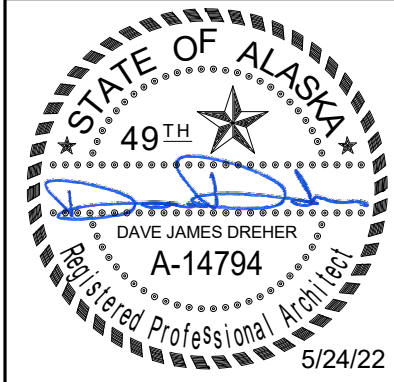
**Burkhardt Croft**  
ARCHITECTS LLC  
880 N Street Suite 302 | Anchorage Alaska 99501  
T: 907.929.9394 | www.burkhardt-croft.com

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ROOF REPLACEMENT & EXTERIOR  
REFURBISHMENT  
420 M ST., ANCHORAGE, ALASKA

DATE:	5/24/22
DRAWN:	JB
CHECKED:	DJD
PROJECT:	1718.65
DRAWING TITLE:	ROOF PLANS - DEMO & NEW
REVISIONS:	
SHEET NO:	

**A103**

CONSTRUCTION DRAWINGS

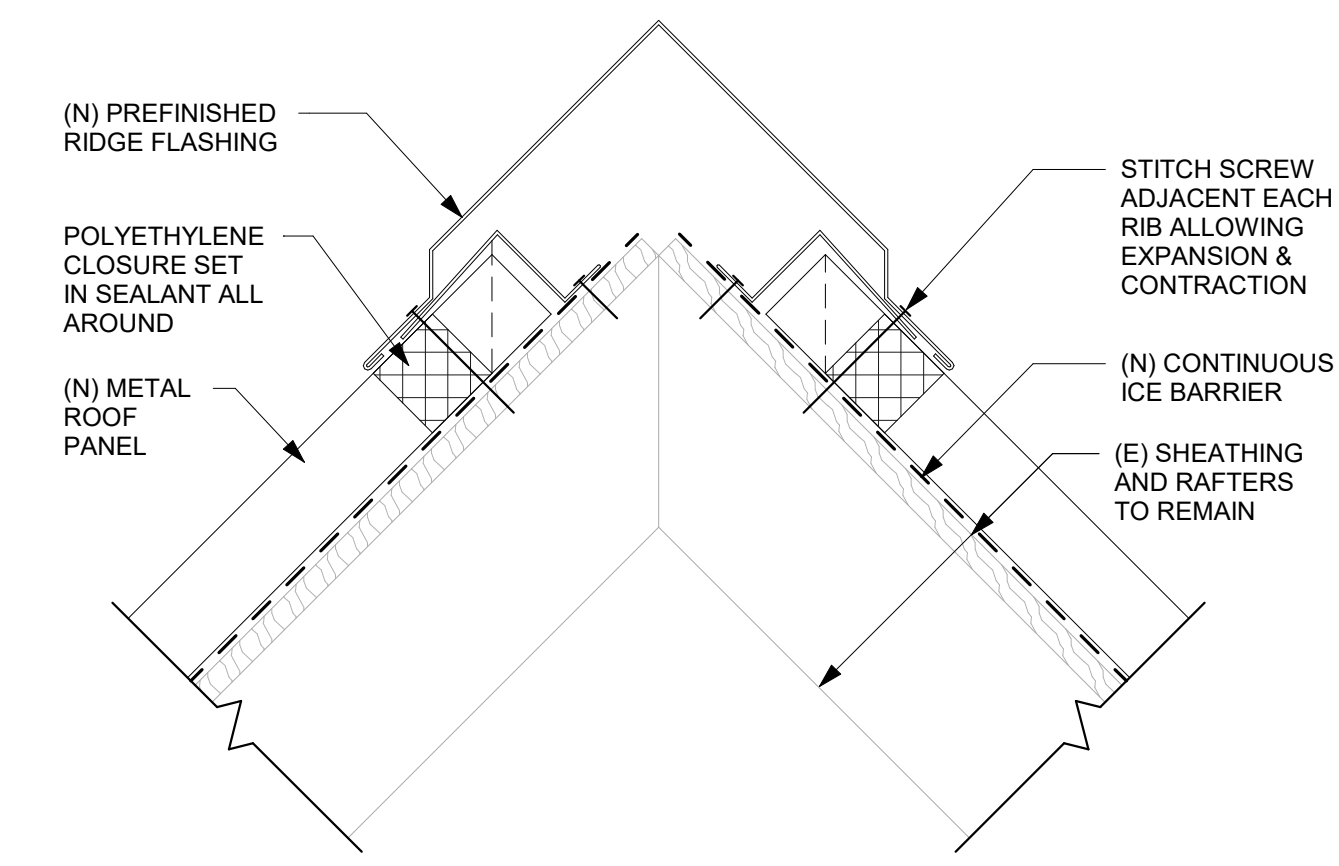


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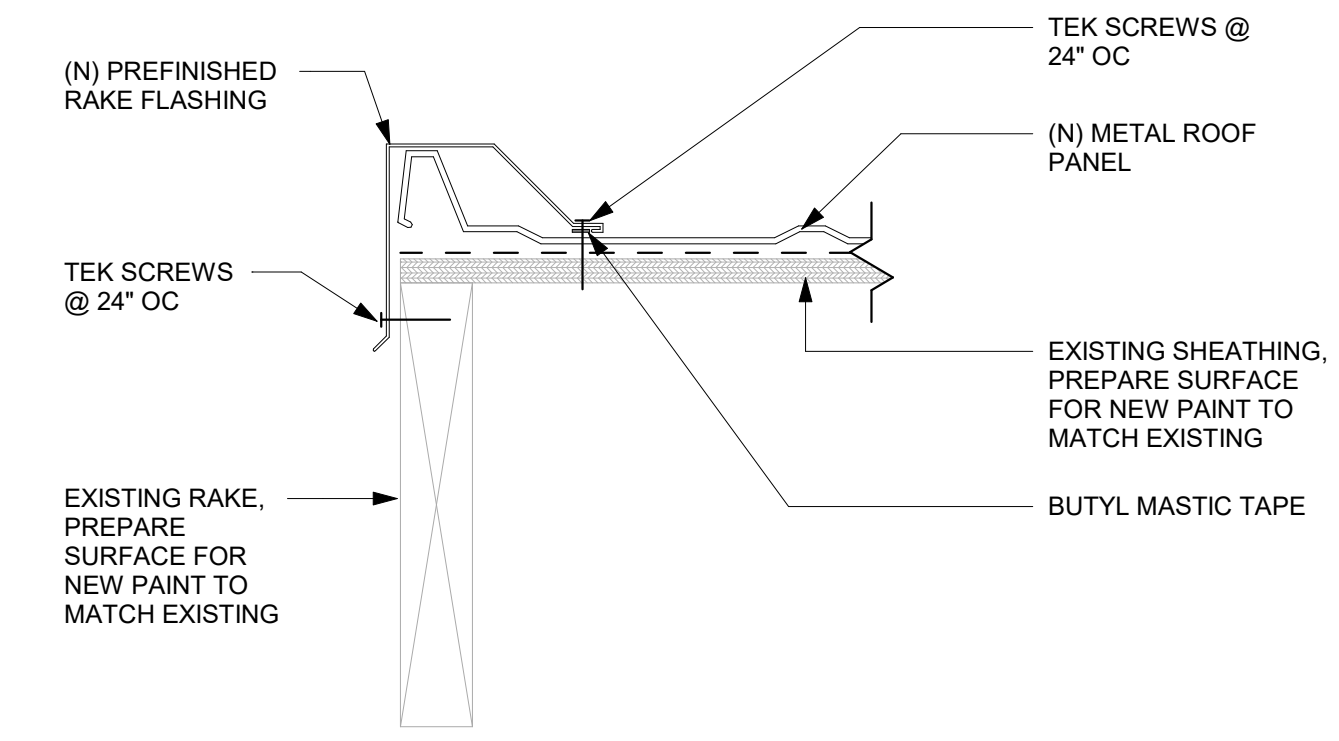
**MUNICIPALITY OF ANCHORAGE  
 OSCAR ANDERSON HOUSE MUSEUM -  
 ROOF REPLACEMENT & EXTERIOR  
 REFURBISHMENT**  
 420 M ST., ANCHORAGE, ALASKA

DATE:	5/24/22
DRAWN:	JB
CHECKED:	DJD
PROJECT:	1718.65
DRAWING TITLE:	ROOF DETAILS - DEMO & NEW
REVISIONS:	
SHEET NO:	<b>A202</b>

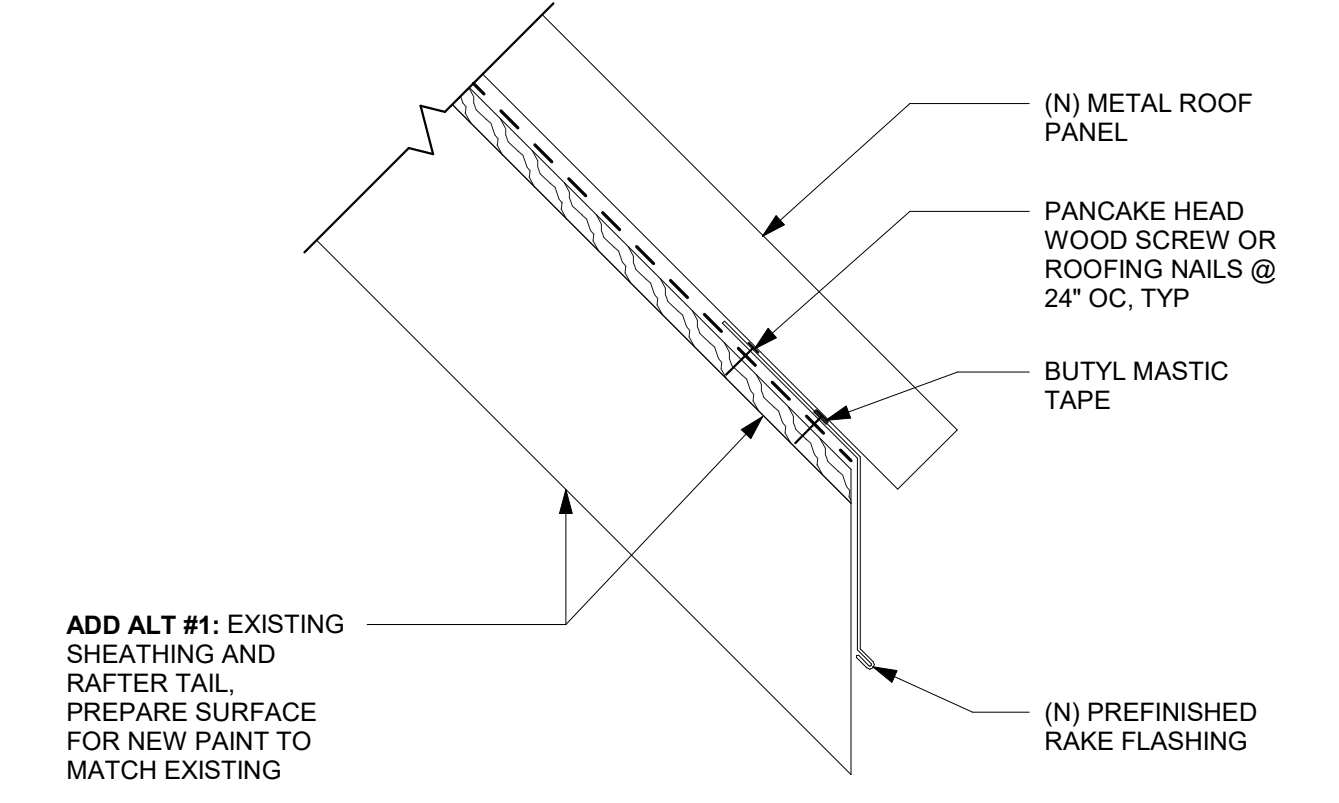
CONSTRUCTION DRAWINGS



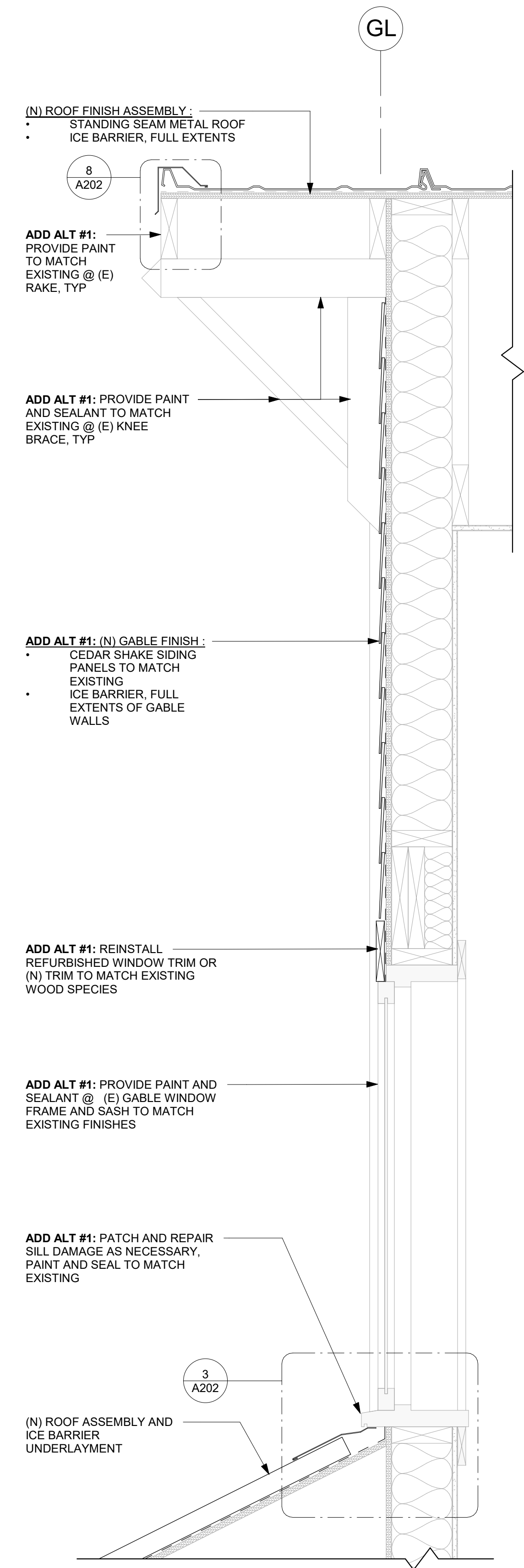
**9** DETAIL - TYPICAL RIDGE FLASHING  
 3" = 1'-0"



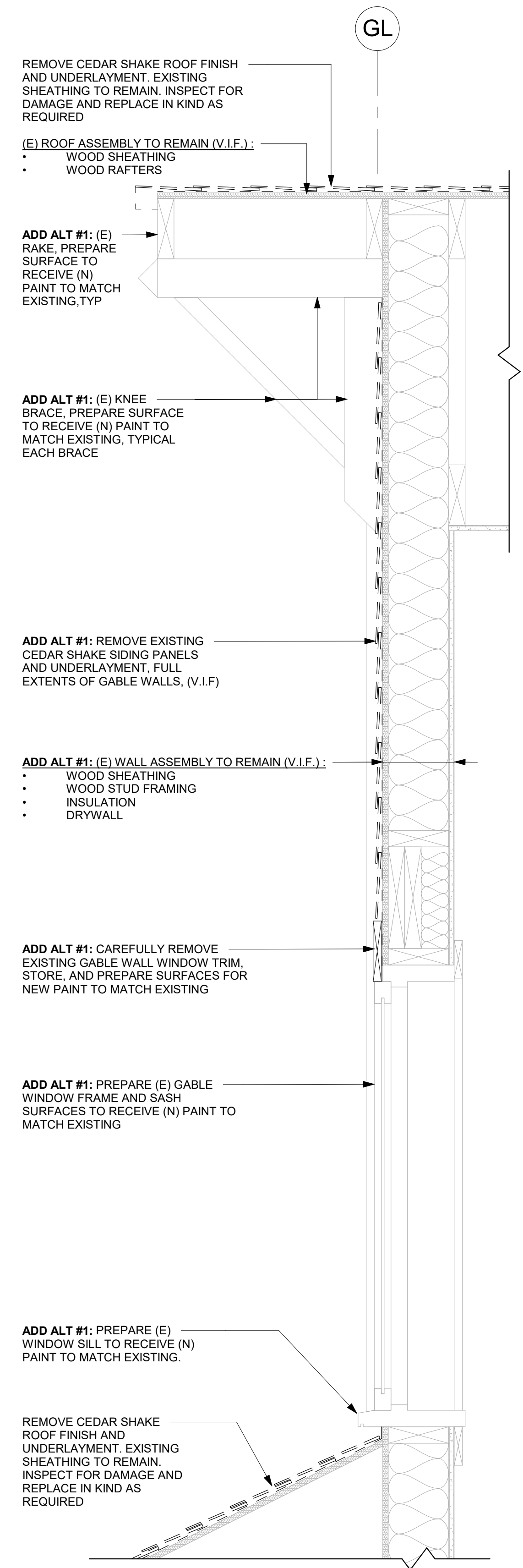
**8** DETAIL - TYPICAL RAKE  
 3" = 1'-0"



**7** DETAIL - TYP. EAVE FLASHING  
 3" = 1'-0"

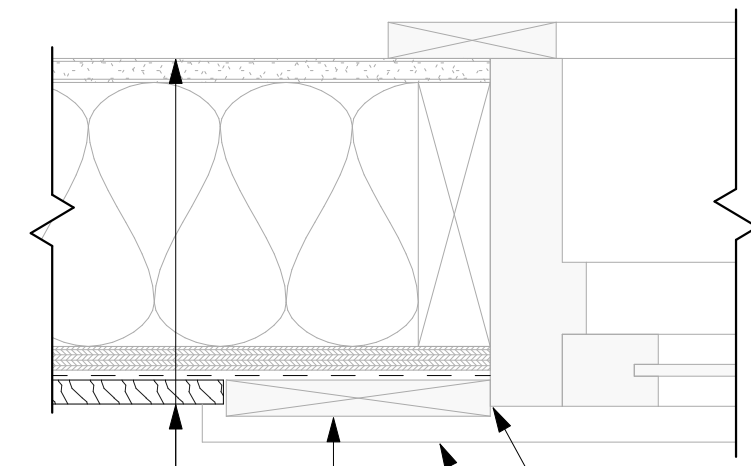


**2** DETAIL - GABLE (N) FINISHES  
 1 1/2" = 1'-0"

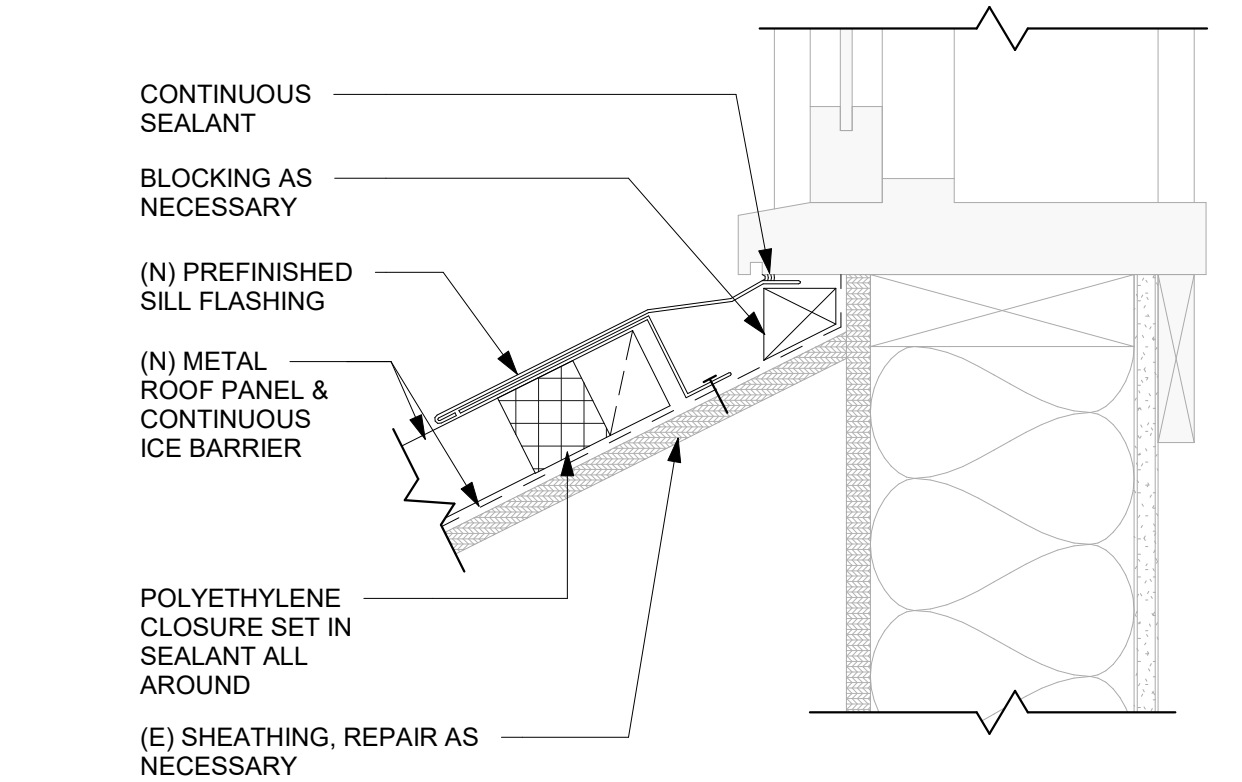


**1** DETAIL - GABLE FINISH DEMO  
 1 1/2" = 1'-0"

**ADD ALT #1 NOTE:** MAINTAIN EXISTING TRIM TO THE GREATEST EXTENT POSSIBLE. REPAIRS USING FILLING AND SMOOTHING COMPOUNDS IS ACCEPTABLE. IF WOOD REPLACEMENT IS REQUIRED, REPLACE WITH THE SAME WOOD SPECIES AS THE EXISTING



**4** DETAIL - TYP. WINDOW JAMB  
 3" = 1'-0"



**3** DETAIL - SILL FLASHING  
 3" = 1'-0"